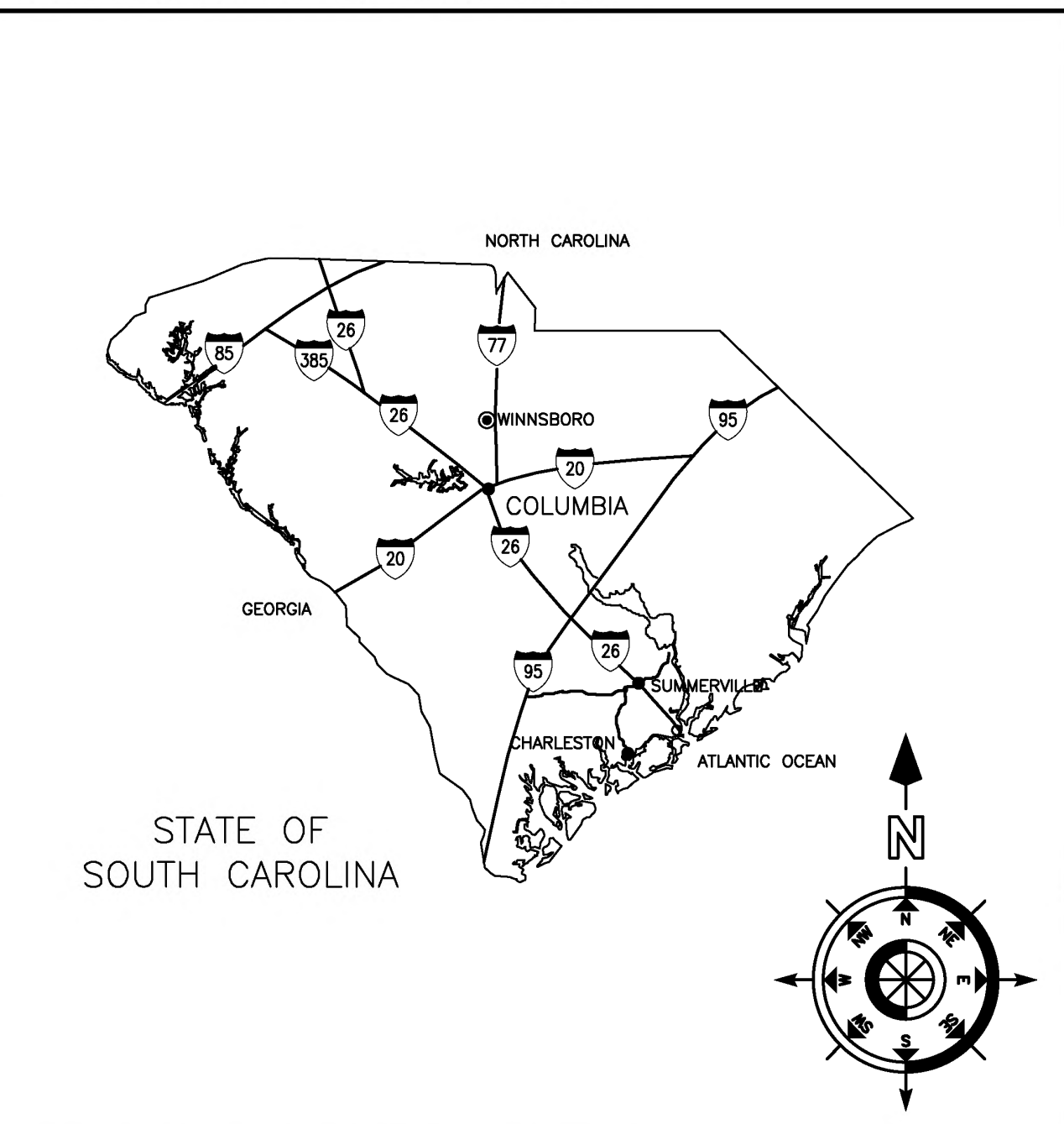


THE TOWER AT 1301 GERVAIS STREET
3RD FLOOR SUITE 300-A
LT. GOVERNOR'S OFFICE EXPANSION
COLUMBIA, SOUTH CAROLINA

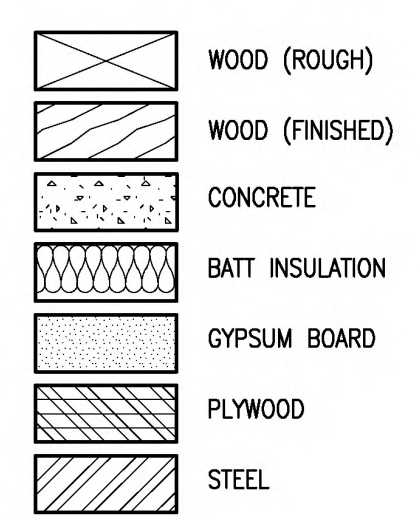
CONSTRUCTION DOCUMENTS
NOVEMBER 21, 2014

ARCHITECT'S PROJECT NUMBER: I-734-11-31

STATE LOCATION MAP



MATERIAL DESIGNATIONS



ABBREVIATIONS

- ANGLE
- AT - ABOVE FINISH FLOOR
- ALUM - ALUMINUM
- ARCH - ARCHITECTURAL
- BLKG - BLOCKING
- BU - BUILT-UP ROOF
- CL - CENTERLINE
- CLG - CEILING
- CTR - CONTROL JOINT
- CONC - CONCRETE
- CMU - CONCRETE MASONRY UNIT
- CONT - CONTINUOUS
- DIA - DIAMETER
- DS - DOWN SPOUT
- DWG - DRAWING
- EXT - EXTERIOR
- EXIST - EXISTING
- EJ - EXPANSION JOINT
- ELEC - ELECTRICAL
- ELV - ELEVATION
- EQUIP - EQUIPMENT
- EW - ELECTRIC WATER COOLER
- FIN - FINISH
- FD - FLOOR DRAIN
- FOF - FACE OF FINISH
- FOS - FACE OF STUD
- FR - FIRE RETARDANT
- FV - FIELD VERIFY
- GA - GAUGE
- GYP BO - GYPSUM BOARD
- HM - HOLLOW METAL
- HORIZ - HORIZONTAL
- HT - HEIGHT
- HVAC - HEATING VENTILATION AIR-CONDITIONING
- ID - INSIDE DIAMETER
- INSUL - INSULATION
- JOINT - JOINT
- JT - JOINT
- JAV - JOINT VENT
- MAX - MAXIMUM
- MECH - MECHANICAL
- MFR - MANUFACTURER
- MIN - MINIMUM
- MO - MASONRY OPENING
- NC - NOT IN CONTRACT
- NOM - NOMINAL
- NTS - NOT TO SCALE
- OC - ON CENTER
- OD - OUTSIDE DIAMETER
- OPNG - OPENING
- OPPOSITE - OPPOSITE
- P - PAINT
- PAR - PLATE, PROPERTY LINE
- PR - PRESSURE TREATED
- PT - PLATE
- R - RADIUS
- REQD - REQUIRED
- ROOF DRAIN - ROOF DRAIN
- RO - ROUGH OPENING
- SF - SQUARE FEET
- SIM - SIMILAR
- SPEC - SPECIFICATIONS
- SS - STAINLESS STEEL
- STD - STANDARD
- STR - STRUCTURAL
- SUSP - SUSPENDED
- TOS - TO BE SELECTED
- TOW - TOP OF WALL
- TYP - TYPICAL
- UNO - UNLESS NOTED OTHERWISE
- VERT - VERTICAL
- VCT - VINYL COMPOSITION TILE
- W - WITH
- WC - WATER CLOSET
- WR - WATER RESISTANT
- WVF - WELDED WIRE FABRIC
- WD - WOOD

ARCHITECTURAL SYMBOLS

1 TITLE
A1.1 SCALE: 1" = 1'-0" REF: 1/A1.1
DETAIL NUMBER WHERE DETAIL IS SHOWN LOCATION OF DETAIL CUT (AS SHOWN)

PLAN DETAIL REFERENCE
1/A1.1 DETAIL NUMBER WHERE DETAIL IS SHOWN
1/A2.1 WHERE PLAN DETAIL IS SHOWN

WALL SECTION / DETAIL SECTION REFERENCE
1/A1.1 WALL SECTION / DETAIL NUMBER WHERE WALL SECTION / DETAIL IS SHOWN
1/A2.1 WHERE WALL SECTION / DETAIL IS SHOWN

ELEVATION REFERENCE
1/A1.1 ELEVATION NUMBER WHERE ELEVATION IS SHOWN
1/A2.1 WHERE ELEVATION IS SHOWN

ALTERNATE ELEVATION REFERENCE
1/A1.1 ELEVATION NUMBER WHERE ELEVATION IS SHOWN
1/A2.1 WHERE ELEVATION IS SHOWN

ROOM TAG SYMBOL
ROOM NAME
ROOM NUMBER
101

DOOR SYMBOL
001A DOOR NUMBER
DX FRAME TYPE
DOOR TYPE
13'-4" DIMENSION TO FACE OR EDGE
13'-4" DIMENSION TO CENTERLINE
EL 14'-0" ELEVATION ABOVE SEA LEVEL
FIN FLOOR ITEM IDENTIFIED

WINDOW / STOREFRONT / CURTAIN WALL / LOUVER TYPE
S1 WINDOW / STOREFRONT / CURTAIN WALL / LOUVER TYPE
PARTITION TYPE
FIRE EXTINGUISHER RECESSED IN WALL CABINET
FIRE EXTINGUISHER MOUNTED ON WALL BRACKETS
FD - FLOOR DRAIN
RECESSED FLOOR SLEEVE

REVISION SYMBOL
CLOUD AROUND REVISION

FIRE RATED WALL SYMBOLS
ONE-HOUR FIRE-RATED WALL ASSEMBLY
TWO-HOUR FIRE-RATED WALL ASSEMBLY
FOUR-HOUR FIRE-RATED WALL ASSEMBLY
SEE PARTITION TYPES FOR UL DESIGN NOS.

BRICK VENEER / CMU CONTROL JOINT
CAST STONE CONTROL JOINT
TOILET / LOCKER ROOM ACCESSORY SYMBOL
GYPSUM BOARD CONTROL JOINT
INDICATES A CHANGE IN ORIENTATION OF CUT PLANE (INTERIOR ELEVATION ONLY)

CODE ANALYSIS AND STANDARDS

PROJECT DESIGNED IN ACCORDANCE WITH:

- INTERNATIONAL BUILDING CODE, 2012 EDITION
- INTERNATIONAL FIRE CODE, 2012 EDITION
- INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION
- INTERNATIONAL FUEL GAS CODE, 2012 EDITION
- INTERNATIONAL MECHANICAL CODE, 2012 EDITION
- INTERNATIONAL PLUMBING CODE, 2012 EDITION
- NATIONAL ELECTRIC CODE, NFPA 70, 2011 EDITION
- NATIONAL ELECTRICAL SAFETY CODE, IEEE-CE-2012 EDITION
- STATE FIRE MARSHAL'S REGULATIONS, LATEST REVISION
- ASHRAE/ESNA 90.1-2007, ENERGY EFFICIENT DESIGN OF NEW BUILDINGS
- ICC/ANSI-A117.1-2009, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
- AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES

BUILDING CODE REVIEW INFORMATION:

- SITE DEVELOPMENT
1.1 TOTAL AREA OF PROJECT SITE (IN ACRES): N/A
A. TOTAL AREA OF PROJECT SITE THAT WILL BE DISTURBED/DEVELOPED (IN ACRES): N/A
B. MUNICIPALITY AND/OR COUNTY WHERE PROJECT IS LOCATED: RICHLAND COUNTY
C. JURISDICTION FOR:
1. SITE WORK: N/A
2. FIRE DEPARTMENT: COLUMBIA FIRE DEPARTMENT PROJECT IN FIRE DISTRICT? YES
3. WATER: CITY OF COLUMBIA
4. SEWER: CITY OF COLUMBIA
5. ZONING: LAND USE ZONE:
- OCCUPANCY
A. OCCUPANCY CLASSIFICATION FIRST FLOOR: BUSINESS GROUP: B
ADDITIONAL OCCUPANCY CLASSIFICATION(S): GROUP:
- TYPE OF CONSTRUCTION
A. CONSTRUCTION CLASSIFICATION: 1A - SPRINKLERED
B. IS THE BUILDING CONSTRUCTION PROTECTED OR UNPROTECTED? PROTECTED-SPRINKLERED
C. IS THE BUILDING CONSTRUCTION OF COMBUSTIBLE OR NONCOMBUSTIBLE MATERIALS? COMBUSTIBLE & NON-COMBUSTIBLE
- GENERAL BUILDING DESIGN, ALLOWABLE AREA, HEIGHT AND OCCUPANT LOAD

FLOOR OR LEVEL	GROSS SQUARE FOOTAGE (EXISTING FLOOR)	RENOVATED GROSS SQUARE FOOTAGE	PERCENTAGE RENOVATED
3RD FLOOR	15,475 S.F.	712 S.F.	04%

BUILDING DESIGN OCCUPANT LOAD (PER IBC 1003):			
OCCUPANCY TYPE	ROOM OR SPACE	OCCUPANCY SEZ/OCCUPANT (IBP)	FLOOR AREA IN DESIGN (OCCUPANT LOAD)
3RD FLOOR RENOVATION - BUSINESS	BUSINESS AREA	712	1/100
3RD FLOOR REMAINING - BUSINESS	BUSINESS AREA	14,763	1/100
			148

3RD FLOOR DESIGN OCCUPANT LOAD - TOTAL FLOOR 156

NOTE: SEE AX1.1 TO SEE DESIGN OCCUPANT LOAD FOR THE SUITE.

5. MINIMUM PLUMBING FIXTURES REQUIRED,

B: BUSINESS (THIRD FLOOR)		REQ'D. DESIGN POPULATION: 156	
BASIS OF DESIGN	WATER CLOSETS	URINALS	LAVATORIES
78 MALES + 78 FEMALES	150 (SEE IBC 403.1)	300 (SEE IBC 403.1)	150 (SEE IBC 403.1)

REQUIRED FIXTURES - MALE	REQUIRED FIXTURES - FEMALE	PROVIDED FIXTURES
2	3	5

TESTING AGENCY & DESIGN NUMBER (UL, FM, ETC.)	RATING AS REQUIRED (IN HOURS)	RATING AS DESIGNED (IN HOURS)
STRUCTURAL FRAME INCLUDING COLUMNS, GIRDERS AND TRUSSES (PER IBC TABLE 601)	3	3
BEARING WALLS, EXTERIOR (PER IBC TABLE 602)	N/A	3
BEARING WALLS, INTERIOR (PER IBC TABLE 602)	N/A	3
NONBEARING WALLS & PARTITIONS, EXTERIOR (PER IBC TABLE 602)	0	0
NONBEARING WALLS & PARTITIONS, INTERIOR (PER IBC TABLE 602)	0	0
FLOOR CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS (PER IBC TABLE 603)	2	2
ROOF CONSTRUCTION, INCLUDING SUPPORTING BEAMS & JOISTS (PER IBC TABLE 603)	N/A	1.5
FIRE WALLS (PER IBC SECTION 706)	N/A	3
FIRE BARRIERS (PER IBC SECTION 706)	2	2
SHAFT ENCLOSURES (PER IBC SECTION 707.4)	2	2
FIRE PARTITIONS (PER IBC SECTION 708)	1	1
CORRIDORS (PER IBC SECTION 1017)	0	0
HORIZ. ASSEMBLIES (PER IBC SECTION 711)	2	2

OTHER FIRE PROTECTION REQUIREMENTS

ITEM	YES	NO	COMMENTS
ARE SMOKE BARRIERS REQUIRED? (PER IBC SECTIONS 407 AND 408)	X		
IS DRAFTSTOPPING REQUIRED? (PER IBC SECTION 717)	X		SPRINKLER EXCEPTION (717.3.3)
IS FIREBLOCKING REQUIRED? (PER IBC SECTION 717)	X		NON-COMBUSTIBLE CONSTRUCTION
ARE SPRINKLERS REQUIRED? (PER IBC SECTION 903.1.3 GROUP A-3)	X		SPRINKLER EXIST.
ARE STANDPIPES REQUIRED? (PER IBC SECTION 905)	X		SPRINKLER RISER EXISTING
IS THE FIRE ALARM SYSTEM REQUIRED? (PER IBC SECTION 907)	X		AUTOMATIC ACTIVATION W/ SPRINKLER SYSTEM
IS A SMOKE CONTROL SYSTEM REQUIRED? (PER IBC SECTION 909)	X		

INDEX OF DRAWINGS

- T1.1 TITLE SHEET, CODE ANALYSIS, LOCATION MAP, INDEX OF DRAWINGS, LIFE SAFETY PLAN
- ARCHITECTURAL**
- A1.1 DEMOLITION PLAN, FLOOR PLAN, NOTES, LEGEND
- A2.1 DEMOLITION REFLECTED PLAN, REFLECTED PLAN, NOTES, LEGEND

LIFE SAFETY PLAN

EGRESS WIDTH LEGEND
[1845 NSF/1239] NET SQ. FT./# OF PEOPLE (OCCUPANCY OF SPACE)

GENERAL LIFE SAFETY NOTES

- SEE CODE RELATED INFORMATION ON SHEET T1.1
- MAXIMUM TRAVEL DISTANCE TO AN EXIT - 300 FEET FOR A SPRINKLED BUSINESS SPACE
- MAXIMUM COMMON PATH OF TRAVEL DISTANCE - 100 FEET FOR A SPRINKLED BUSINESS SPACE
- TOTAL OCCUPANCY FOR THIS SUITE IS 8 PEOPLE.

LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE LABELED AS FIRE RATED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- HATCHED AREA NOT IN CONTRACT
- NEW EXIT SIGN

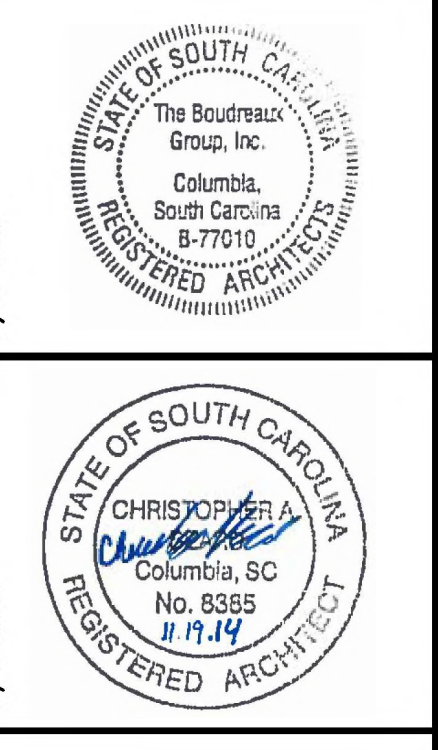
1 LIFE SAFETY PLAN
T1.1 SCALE: NOT TO SCALE

KEY PLAN

THIRD FLOOR KEY PLAN
NOT TO SCALE
*HATCHED AREA IS PLANNED RENOVATION SPACE

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Interdisciplinary Design Architecture Interiors Planning



Project Title
THE TOWER AT 1301 GERVAIS STREET
3RD FLOOR SUITE 300-A
LT. GOVERNOR'S OFFICE EXPANSION
COLUMBIA, SOUTH CAROLINA

Project No.
I-734-11-31

Drawn By
CAB

Checked By
CAB

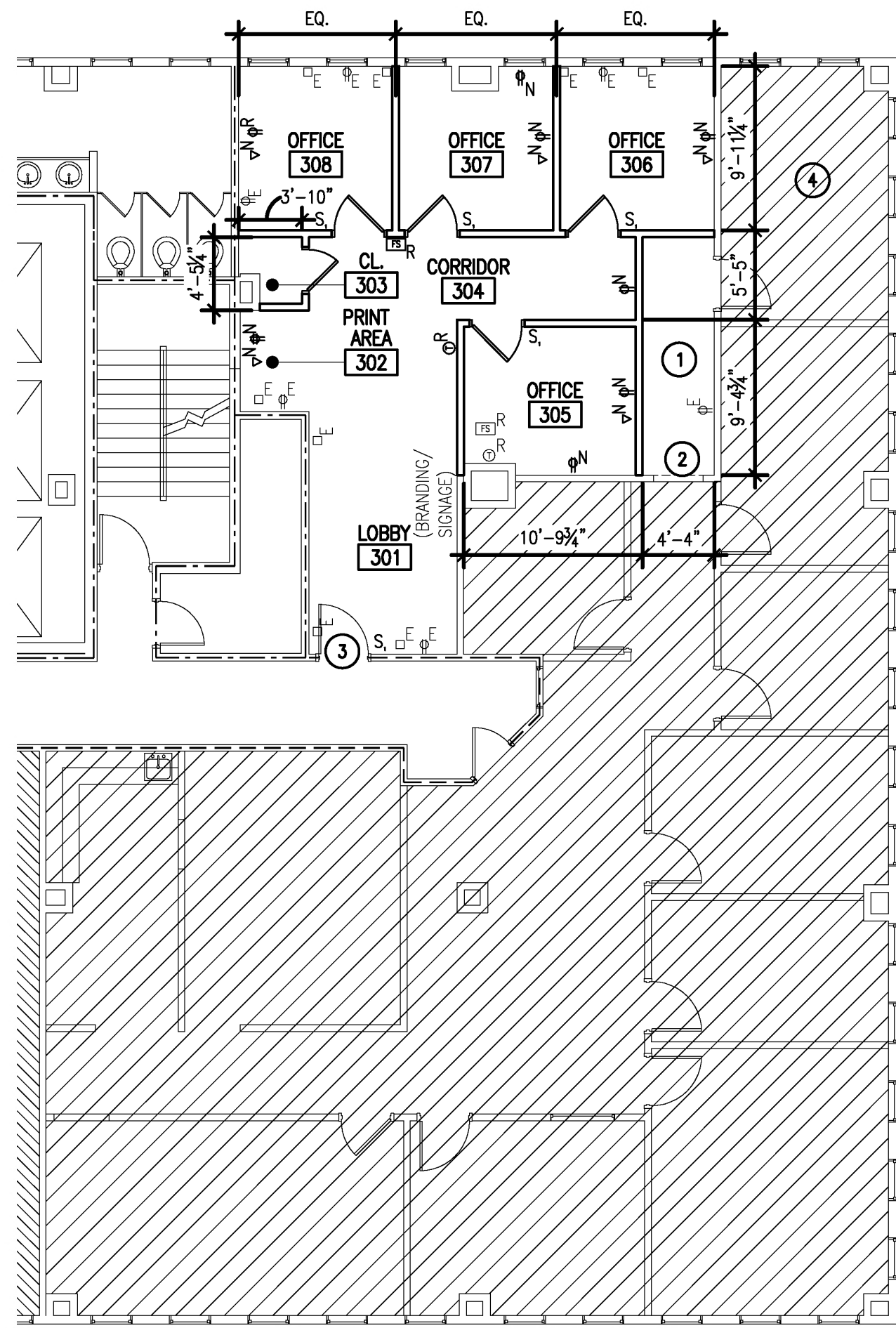
Date
01/20/14

Revisions

No.	Date	Name

TITLE SHEET, CODE ANALYSIS
LOCATION MAP, SPECS
INDEX OF DRAWINGS

Drawing No.
T1.1



2 NEW CONSTRUCTION FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

FINISH NOTES:

- OFFICE 305, 306, 307 AND 308 TO RECEIVE PAINT FINISH ON ALL 4 WALLS, RUBBER BASE AND CARPET TILE. FINISHES TO MATCH EXISTING FINISHES OF ADJACENT TENANT IN SUITE 300.
- ROOM 301, 302, 303, AND 304 TO RECEIVE NEW PAINT FINISH ON ALL WALLS, RUBBER WALL BASE AND CARPET TILE. FINISHES TO MATCH EXISTING FINISHES OF ADJACENT TENANT IN SUITE 300.

GENERAL PLAN NOTES:

- VERIFY ALL DIMENSIONS IN THE FIELD. IF CONFLICTS ARE DISCOVERED IN THE FIELD, STOP WORK AND IMMEDIATELY NOTIFY ARCHITECT.
- NEW PARTITIONS ARE TO BE CONSTRUCTED AS FOLLOWS: 5/8" TYPE X GYPSUM BOARD ON BOTH SIDES OF 3-5/8" METAL STUDS @ 24" ON CENTER. PROVIDE 3" SOUND ATTENUATION BATTS WITHIN THE CAVITY OF THE WALLS. EXTEND WALLS FROM FINISH FLOOR TO BOTTOM OF EXISTING CEILING GRID.
- NEW OFFICE DOORS TO BE AS FOLLOWS: PAINTED HOLLOW METAL FRAME FOR 3'-0" WIDE BY 7'-0" BUILDING STANDARD WOOD DOOR FINISHED TO MATCH EXISTING SUITE ENTRY DOOR. ALL DOORS TO RECEIVE LEVER LOCKSET, 3 HINGES, WALL STOP AND SILENCERS. NEW OFFICE DOORS TO GET FULL HEIGHT GLASS KITS.
- NEW CLOSET DOOR TO BE AS FOLLOWS: PAINTED HOLLOW METAL FRAME FOR 2'-6" WIDE BY 7'-0" BUILDING STANDARD WOOD DOOR FINISHED TO MATCH EXISTING SUITE ENTRY DOOR. DOOR TO RECEIVE LEVER LOCKSET AND 3 HINGES.
- RELOCATE EXISTING THERMOSTAT AS INDICATED. SPACE HAS A DEDICATED VAV UNIT. IF VAV CONTROLS DIFFUSERS IN ADJACENT SUITE, DISCONNECT THE DUCT RUNS AND FEED THOSE DIFFUSERS FROM VAV IN ADJACENT SUITE.
- AT NEW DATA LOCATIONS, PROVIDE BUILDING STANDARD JUNCTION BOX AND 1/2" CONDUIT TO EXTEND UP TO 6' ABOVE CEILING.
- AT PRINTER AREA, PROVIDE DEDICATED 20AMP CIRCUIT FOR NEW FLOOR MOUNTED PRINTER.
- EXISTING LIGHTS IN THIS SUITE ARE CONTROLLED FROM ADJACENT SUITE. ELECTRICAL CONTRACTOR TO RE-WIRE LIGHTS TO BE CONTROLLED AS INDICATED ON THE RCP.
- CONTRACTOR TO RELAMP EXISTING LIGHT FIXTURES.

PLAN KEY NOTES

- PROVIDE NEW CARPET IN HALLWAY TO MATCH EXISTING ADJACENT TENANT FINISHES. PAINT WALLS TO MATCH EXISTING ADJACENT TENANT COLOR SCHEME. COORDINATE WORK WITH ADJACENT TENANT AND LANDLORD.
- NEW 3'-0" WIDE BY 7'-0" TALL CASED OPENING CUT IN EXISTING WALL.
- CONTRACTOR TO CUT IN AND INSTALL NEW FULL HEIGHT GLASS KIT IN EXISTING DOOR.
- PROVIDE NEW CARPET IN OFFICE TO MATCH EXISTING ADJACENT TENANT FINISHES. PAINT WALLS TO MATCH EXISTING ADJACENT TENANT COLOR SCHEME. COORDINATE WORK WITH ADJACENT TENANT AND LANDLORD.

PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE LABELED AS FIRE RATED
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE NOT REQUIRED TO BE RATED BY CODE
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- NEW DOOR
- HATCHED AREA NOT IN CONTRACT
- EXISTING ELECTRICAL WALL OUTLET TO REMAIN
- EXISTING DATA LOCATION TO REMAIN
- EXISTING THERMOSTAT TO BE RELOCATED
- EXISTING FIRE STROBE TO BE RELOCATED
- INDICATES CONSTRUCTION KEY NOTE
- NEW DUPLEX WALL OUTLET AT 18" A.F.F.
- NEW DATA JUNCTION BOX 18" A.F.F.
- NEW SINGLE POLE LIGHT SWITCH 48" A.F.F.

GENERAL DEMOLITION PLAN NOTES:

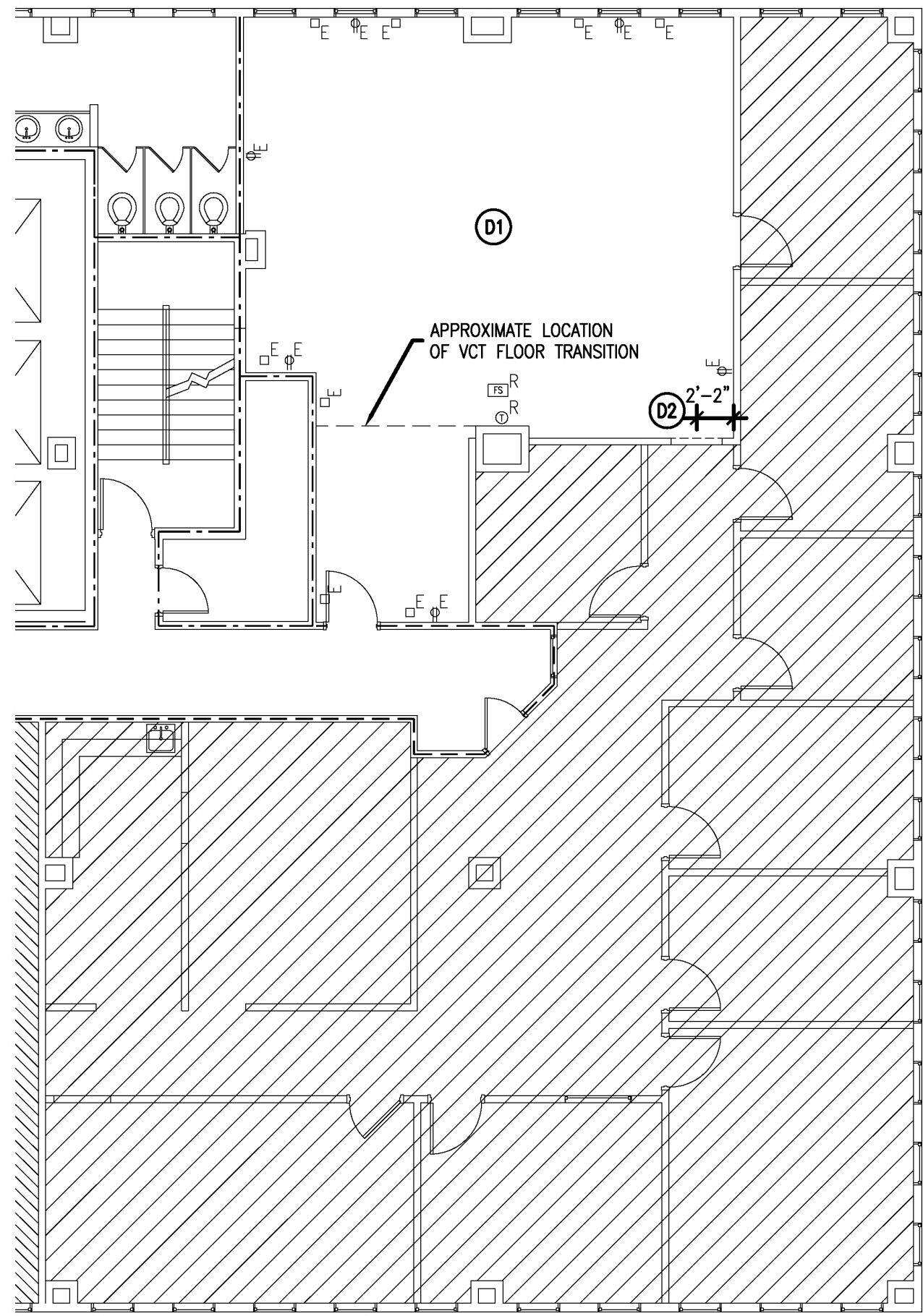
- VERIFY ALL DIMENSIONS IN THE FIELD. IF CONFLICTS ARE DISCOVERED IN THE FIELD, STOP WORK AND IMMEDIATELY NOTIFY ARCHITECT.
- CONTRACTOR TO SAND AND REFINISH ALL EXISTING DOORS THAT ARE SCHEDULED TO REMAIN OR BE REUSED. CONTRACTOR TO STAIN TO MATCH EXISTING.
- CONTRACTOR TO VERIFY IF EXISTING EXTERIOR WINDOWS HAD BUILDING STANDARD BLINDS. IF BLINDS ARE DAMAGED OR MISSING, CONTRACTOR TO PROVIDE NEW BUILDING STANDARD BLINDS.
- REPLACE EXISTING KNOB DOOR HANDLES WITH NEW LEVEL HANDLES TO MATCH BUILDING STANDARD FINISH.
- PREP EXISTING WALLS AS NEEDED IN ORDER TO RECEIVE NEW PAINT FINISH.

DEMOLITION PLAN KEY NOTES

- EXISTING VCT TO REMAIN IN PLACE. AT THE ENTRY TO SUITE, THERE IS EXISTING EXPOSED CONCRETE SLAB AND THEN A TRANSITION TO VCT. CONTRACTOR TO FLOAT/FEATHER THIS TRANSITION IN ORDER TO INSTALL NEW FLOOR FINISH.
- CUT IN NEW 3'-0" WIDE BY 7'-0" OPENING IN EXISTING WALL. FINISH OPENING WITH GYPSUM BOARD TO CREATED CASED OPENING. PROVIDE NECESSARY HEAD AND JAMB METALS STUD FRAMING AS NEEDED.

DEMOLITION LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE LABELED AS FIRE RATED
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE NOT REQUIRED TO BE RATED BY CODE
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- HATCHED AREA NOT IN CONTRACT
- EXISTING ELECTRICAL WALL OUTLET TO REMAIN
- EXISTING DATA LOCATION TO REMAIN
- EXISTING THERMOSTAT TO BE RELOCATED
- EXISTING FIRE STROBE TO BE RELOCATED
- INDICATES DEMOLITION KEY NOTE



1 DEMOLITION FLOOR PLAN
A1.1 SCALE: 1/8" = 1'-0"

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Interdisciplinary Design, Architecture, Interior, Planning



**THE TOWER AT 1301 GERVAIS STREET
3RD FLOOR SUITE 300-A
LT. GOVERNOR'S OFFICE EXPANSION**

COLUMBIA, SOUTH CAROLINA

Project Title

Project No.

Drawn By

Checked By

Date

Scale

Notes

Revisions

No.

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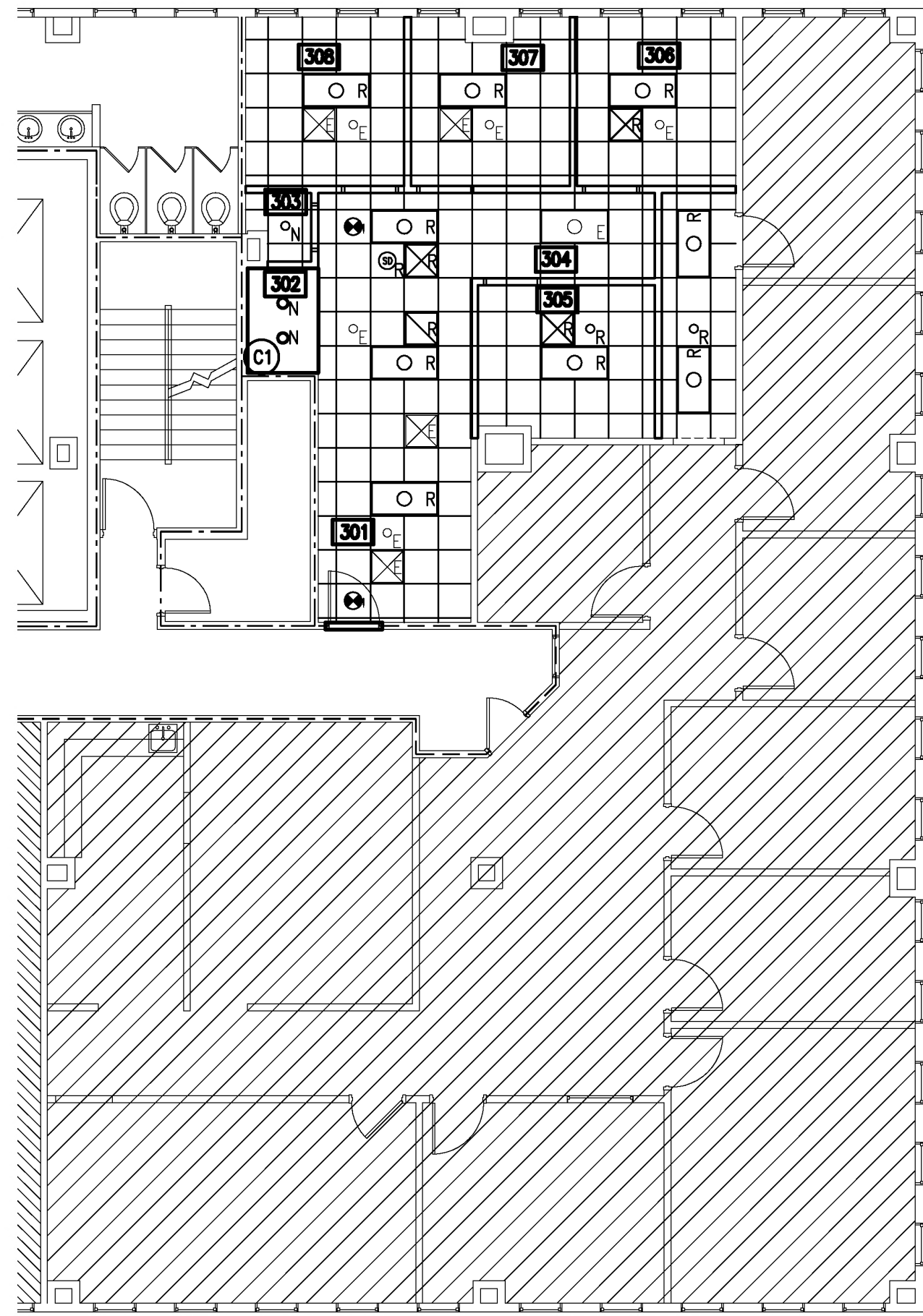
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2 NEW CONSTRUCTION REFLECTED PLAN
A2.1 SCALE: 1/8" = 1'-0"

- GENERAL REFLECTED PLAN NOTES:
1. LIGHT FIXTURES IN 301, 302, 303 AND 304 TO BE CONTROLLED BY THE LIGHT SWITCH AT THE ENTRY DOOR.
 2. THE LIGHTS IN THE INDIVIDUAL OFFICES ARE TO BE CONTROLLED BY THE ASSOCIATED LIGHT SWITCH INDICATED IN EACH OFFICE.

REFLECTED PLAN KEY NOTES

- (C1) NEW GYPSUM BOARD CEILING 2" BELOW EXISTING CEILING GRID. SOFFIT TO RECEIVE PAINT FINISH.

REFLECTED PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE LABELED AS FIRE RATED
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE NOT REQUIRED TO BE RATED BY CODE
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- HATCHED AREA NOT IN CONTRACT
- INDICATES CONSTRUCTION KEY NOTE
- EXISTING 2X4 FLOURESCENT LIGHT FIXTURE
- RELOCATE 2X4 FLOURESCENT LIGHT FIXTURE
- EXISTING SPRINKLER HEAD
- RELOCATED SPRINKLER HEAD
- NEW SPRINKLER HEAD
- NEW 6" RECESSED CAN LIGHT
- RELOCATED RETURN AIR GRILLE
- EXISTING SUPPLY GRILLE
- RELOCATED SUPPLY GRILLE
- NEW BUILDING STANDARD CEILING MOUNTED EXIT SIGN
- EXISTING ACOUSTICAL CEILING TILE.
- ROOM NUMBER TAG

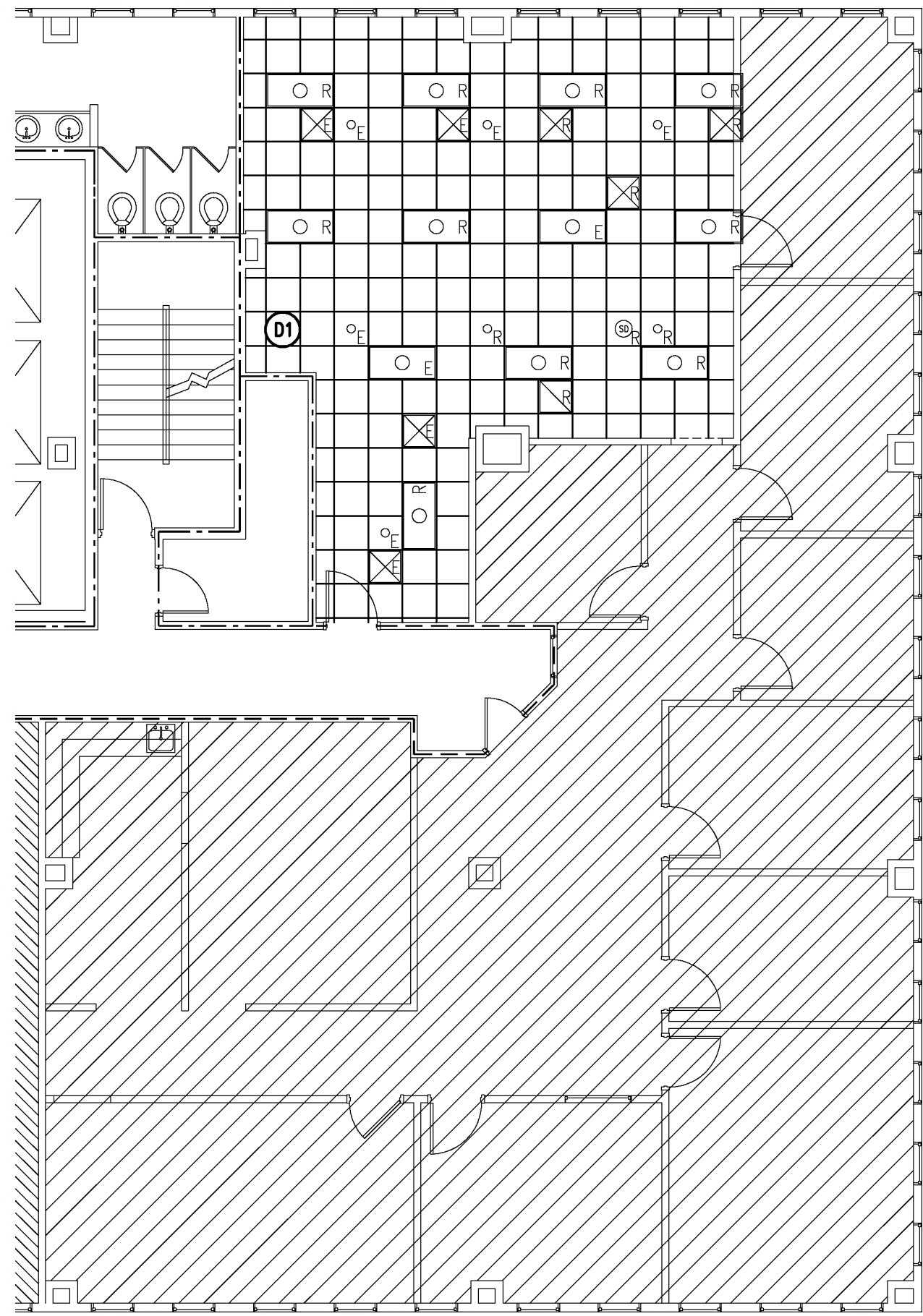
- GENERAL DEMOLITION REFLECTED PLAN NOTES:
1. THE EXISTING CEILING GRID AND CEILING TILES ARE TO REMAIN IN PLACE. CONTRACTOR TO REPLACE DAMAGED CEILING TILES AS NEEDED.
 2. CONTRACTOR TO RELAMP EXISTING LIGHT FIXTURES TO BUILDING STANDARD.
 3. RELOCATE EXISTING CEILING MOUNTED EQUIPMENT AS INDICATED ON THE NEW REFLECTED PLAN.

DEMOLITION REFLECTED PLAN KEY NOTES

- (D1) REMOVE SECTION OF CEILING AS NEEDED TO INSTALL NEW GYPSUM BOARD SOFFIT. PROVIDE ANGLE MOLDING AS NEEDED TO PATCH EXISTING CEILING GRID.

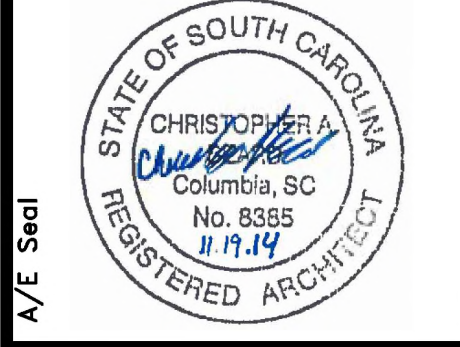
DEMOLITION REFLECTED PLAN LEGEND

- EXISTING PARTITION TO REMAIN
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE LABELED AS FIRE RATED
- EXISTING WALL EXTENDS UP TO DECK, WALLS ARE NOT REQUIRED TO BE RATED BY CODE
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR TO REMAIN
- HATCHED AREA NOT IN CONTRACT
- INDICATES DEMOLITION KEY NOTE
- EXISTING 2X4 FLOURESCENT LIGHT FIXTURE
- RELOCATE 2X4 FLOURESCENT LIGHT FIXTURE
- EXISTING SPRINKLER HEAD
- RELOCATED SPRINKLER HEAD
- RELOCATED RETURN AIR GRILLE
- EXISTING SUPPLY GRILLE
- RELOCATED SUPPLY GRILLE
- EXISTING ACOUSTICAL CEILING TILE.
- ROOM NUMBER TAG



1 DEMOLITION REFLECTED PLAN
A2.1 SCALE: 1/8" = 1'-0"

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Project Title
THE TOWER AT 1301 GERVAIS STREET
3RD FLOOR SUITE 300-A
LT. GOVERNOR'S OFFICE EXPANSION
COLUMBIA, SOUTH CAROLINA

Project No.	Date
17-734-11-31	
Drawn By	Checked By
CAB	CAB
Date	Date
1/21/2014	1/21/2014

Revisions	No.	Name	Date

DEMOLITION REFLECTED PLAN,
REFLECTED PLAN, NOTES,
LEGEND

Drawing No.
A2.1